



Item 6

20th January 2026

Planning Services 231 George Street GLASGOW G1 1RX Tel: 0141 287 8555 Email: [onlineplanning@glasgow.gov.uk](mailto:onlineplanning@glasgow.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100733220-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Karen Parry Architects		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Martin	Building Name:	suite 3, 1st floor east, clydeaway house
Last Name: *	Myers	Building Number:	813
Telephone Number: *		Address 1 (Street): *	south street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Glasgow
Fax Number:		Country: *	Scotland
		Postcode: *	G14 0BX
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? \*

☒ Individual ☐ Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Darinka"/>	Building Number:	<input type="text" value="17"/>
Last Name: *	<input type="text" value="Asenova"/>	Address 1 (Street): *	<input type="text" value="Daleview Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="G12 0HE"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

## Site Address Details

Planning Authority:	<input type="text" value="Glasgow City Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="17 DALEVIEW AVENUE"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G12 0HE"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="668879"/>	Easting	<input type="text" value="255854"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

Attic conversion and 2 storey side extension with internal alterations to an existing semi detached dwelling

## Type of Application

What type of application did you submit to the planning authority? \*

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? \*

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to the attached Appeal Statement, which fully sets out the reasoning for this appeal. The proposed development is put forward as a reasonable and proportionate householder extension, broadly compliant with provisions of the development plan.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Planning Appeal Statement 17 Daleview Avenue, Planning Refusal Notice, Original Application form, Original Drawings, no.'s 01-13,

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

25/01917/FUL

What date was the application submitted to the planning authority? \*

19/08/2025

What date was the decision issued by the planning authority? \*

24/10/2025

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? \*

☒ Yes ☐ No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? \*

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? \*

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

## Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Martin Myers

Declaration Date: 17/11/2025

## Payment Details

Pay Direct

Created: 17/11/2025 11:06

LOCAL REVIEW BODY

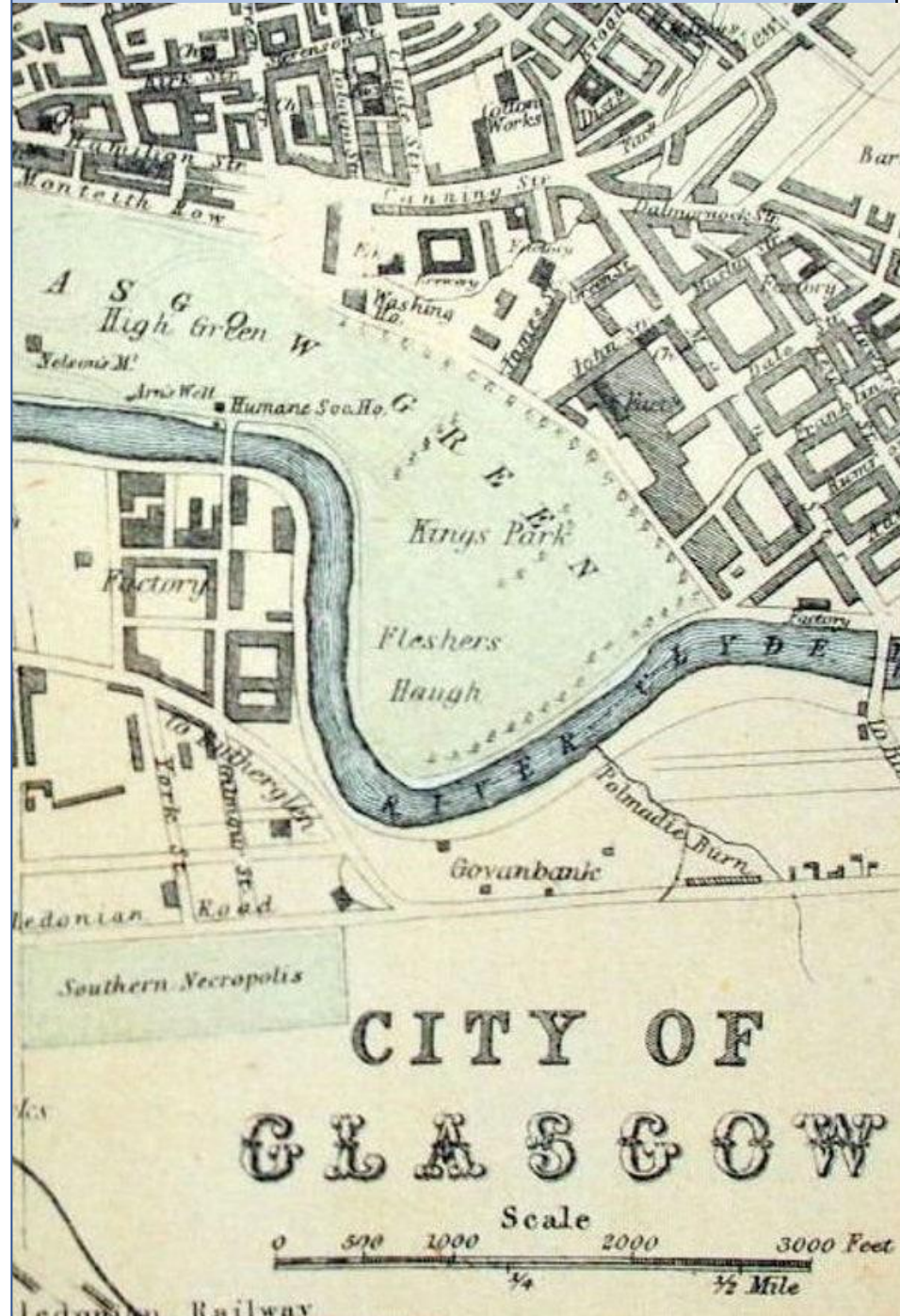
APPEAL STATEMENT

17 Daleview Avenue

Glasgow

Application Ref  
25/01917/FUL

Decision Date: 24 Oct 2025



Glen Etive  
Projects

chartered town planning and surveyor



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## 1.0 Introduction

- 1.1 GlenEtiveProjects has been appointed by the Applicant to provide a planning statement in support of a request to the Local Review Body for reconsideration of the refusal of planning permission ref (25/01917/FUL) for a 2 storey side extension and side and rear dormer extensions at 17 Daleview Avenue, Glasgow. The following statement provides a description and need for the proposed development, the location and characteristics of the site and surrounding area and the proposed design considerations in forming the proposed development. The statement outlines the relevant national and local planning policy and highlights material considerations which can be included in the overall assessment of the application.
- 1.2 With respect to the decision to refuse the application, this appeal contends that the proposal is:
- Well-integrated, proportionate, and in keeping with local character and other similar developments;
  - Compliant with relevant National Planning Framework 4 (NPF4) policies.
  - Supportive of climate, housing, and design objectives at national level; and
  - Non-injurious to residential amenity, privacy, or the public realm.
  - Provides for the needs of a growing family and allows the development of an existing site reducing the need to develop new or additional land for housing
- 1.3 The following documents have been provided with this appeal:-
- Local Review Body Form
  - Decision Notice and Report of Handling
  - Images / Photo evidence of similar local developments
  - Statement of Appeal (this statement).

## 2.0 Site and Locality Description

- 2.1 The application site is located on Daleview Avenue, within the established residential area of Kelvindale situated in the west end of the city of Glasgow, as shown in **Figure 1**. The site comprises of a two storey semi detached dwellinghouse, finished in render and slates. The property has been subject to a modest single storey rear extension which was consented under application 00/02479/DC.
- 2.2 Within the side garden is a detached garage and the rear garden area is enclosed by a mature hedge.



- 2.3 The character of the area is established by similar post war properties some of which have benefited from extensions. While there is a broadly consistent character, there are existing variations in extensions, roof alterations and dormers within surrounding streets, including a side dormer at No. 8 Daleview Avenue, which provides relevant precedent and a number of two storey side extensions with various roof styles.



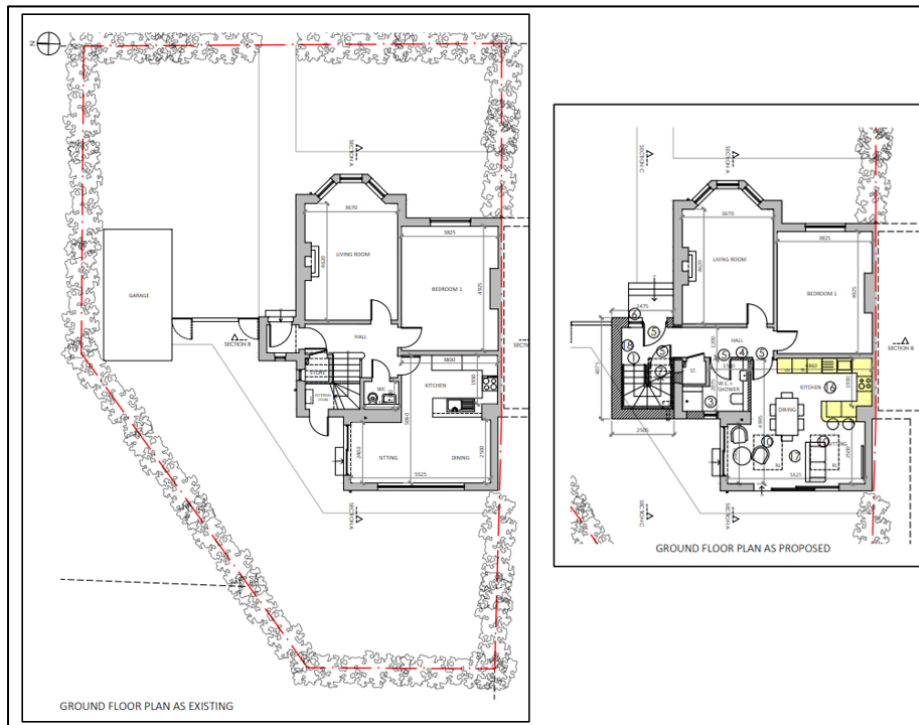
- 2.4 The site is not within a conservation area nor is it listed. There are no designations or constraints which would elevate design sensitivity beyond general overarching policies.

### 3.0 Proposed Development

- 3.1 Planning Permission was sought for the erection of a two storey side extension, side dormer extension and a rear dormer extension. The proposed development sought modest alterations to the existing dwellinghouse to support the growth of the family and to allow the applicant to reside in the local community.
- 3.2 The two storey extension comprises an addition to the existing ground floor side entrance to the property to enable a stairwell to be created to provide access to the first floor. Internal alterations, for which consent is not required, also allow the formation of a ground floor shower room and WC facilities which assists in the future use of the property in providing accessible w/c facilities. ( See **Figure 2** below).
- 3.3 The proposed side dormer extension comprises of a pitched roof design and finished in slates in accordance with other dormers within the locality and is in keeping with the character of the existing dwelling given that this elevation will be partially visible from the road. The rear dormer, which will not be visible from public vantage points will comprise a flat roof design to provide suitable floor to ceiling height clearance and also

allows the facilitation of an adjoined glazed box dormer to create an additional stairwell. (See **Figure 3** below).

- 3.4 The two storey side extension is set back some 4m from the front building line and over 8m from the public road. The extension comprises a mono pitched roof and will be finished in render to match the existing dwelling (See **Figure 3** below).



**Figure 2** - Existing and Proposed Ground Floor Plan – Showing the modest footprint extension to the rear of the existing side entrance.



**Figure 3** – Proposed Elevations

## 4.0 Planning Policy

- 4.1 Section 25 and 37 of the Town and Country Planning (Scotland) Act 1997 (as amended), requires that applications for planning permission are determined in accordance with the Development Plan unless material consideration indicate that they should not.
- 4.2 The Development Plan in relation to the proposed development comprises the following:-
- **Glasgow City Development Plan 2017**
  - **National Planning Framework 4 (2023) (NPF4)**
- 4.3 Section 24(3) of the 1997 Act (as amended) confirms that if there is an inconsistency between NPF4 policies and a Local Development Plan which was adopted before the 13 February 2023, then the policies in NPF4 prevail. In this case given that the current LDP was adopted in 2017 and the NPF4 was adopted in 2023, the NPF4 will prevail if any inconsistencies are identified.
- 4.4 The proposed development has been reviewed against the following policy considerations within NPF4:
- Overarching Spatial Strategy
  - Policy 1: Tackling the climate and nature crises
  - Policy 2: Climate mitigation and adaption
  - Policy 11: Energy
  - Policy 14: Design, Quality and Place
  - Policy 16: Quality Homes

### NPF4 Policy 14

- 4.5 In respect of this application for a domestic extension the most relevant policy of NPF4 is Policy 14 which states:-
- a) Development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale.
- b) Development proposals will be supported where they are consistent with the six qualities of successful places:
- **Healthy:** Supporting the prioritisation of women's safety and improving physical and mental health.
  - **Pleasant:** Supporting attractive natural and built spaces. **Connected:** Supporting well connected networks that make moving around easy and reduce car dependency

- Distinctive: Supporting attention to detail of local architectural styles and natural landscapes to be interpreted, literally or creatively, into designs to reinforce identity.
- Sustainable: Supporting the efficient use of resources that will allow people to live, play, work and stay in their area, ensuring climate resilience, and integrating nature positive, biodiversity solutions.
- Adaptable: Supporting commitment to investing in the long-term value of buildings, streets and spaces by allowing for flexibility so that they can be changed quickly to accommodate different uses as well as maintained over time.

#### NPF 4 SPATIAL STRATEGY

- 4.6 NPF4 **Part 1** sets out our spatial strategy for Scotland to 2045, identifying 6 spatial principles which will influence all our plans and decisions:
- Just transition
  - Conserving and recycling assets
  - Local living
  - Compact urban growth
  - Rebalanced development
  - Rural revitalisation
- 4.7 3 themes, linked to the United Nations Sustainable Development Goals and Scottish Government National Performance Framework are:
- Sustainable places where we reduce emissions, restore and better connect biodiversity
  - Liveable places where we can all live better, healthier lives
  - Productive places where we have a greener, fairer and more inclusive wellbeing economy
- 4.8 **Part 2** sets out the Scottish Government’s policy framework by topic under the above three themes.
- 4.9 NPF4 clarifies the role of the **Local Development Plan**. The focus for LDPs should be on land allocation through the spatial strategy and interpreting this national policy in a local context. There is no need for LDPs to replicate policies within NPF4, but authorities can add further detail including locally specific policies should they consider to be a need to do so, based on the area’s individual characteristics. Therefore it is inferred that the principal policy document for assessing planning applications would be NPF4 unless the LDP in place was adopted later and comprised of additional policies beyond that contained within NPF4.

4.10 NPF 4 states that LDP's shall set out a spatial strategy for the development of their area. In so doing the LDP must take into account the National Planning Framework and any registered local place plan in the area it covers. It must have regard to the authority's adopted regional spatial strategy. The LDP must also have regard to any local outcomes improvement plan for the area it covers.

4.11 The **policy** section of NPF4 is for use in the determination of planning applications. **NPF4 states:**

*'The policies should be read as a whole. Planning decisions must be made in accordance with the development plan, unless material considerations indicate otherwise. It is for the decision maker to determine what weight to attach to policies on a case by case basis. Where a policy states that development will be supported, it is in principle, and it is for the decision maker to take into account all other relevant policies.'*

4.12 In Part 3 Annex A – 'How to use this document' NPF4 expands further on the implementation of the policies therein. With this overarching guide of how to implement and use NPF4, the Council are legally required to consider the complete NPF as a whole and as currently adopted LDP, as the spatial strategy. In addition, it is noted that the Council must not cherry pick policies it supports and disregard other policies it does not.

4.13 Set within statute and therefore required by NPF4, developments must to contribute to 6 outcomes:

- Meeting the **housing needs** of people living in Scotland including, in particular, the **housing needs for older people and disabled people**,
- Improving the **health and wellbeing** of people living in Scotland,
- Increasing the **population of rural areas** of Scotland,
- Improving **equality** and eliminating discrimination,
- Meeting any targets relating to the **reduction of emissions** of greenhouse gases, and
- Securing positive effects for **biodiversity**.

4.14 These outcomes act as a golden thread throughout the document

#### **GLASGOW CITY DEVELOPMENT PLAN (2017)**

4.15 The City Development Plan was adopted in 2017 and its policies and strategies were therefore adopted prior to the publication of NPF4. As stated above in such situations where there is a conflict between the policies of the adopted LDP and NPF4, policies within NPF4 should prevail.

4.16 The planning officer's report of handling cites the following LDP policies as being applicable to the determination of the application:

- Policy CDP1 – The Placemaking Principle
- Policy CDP2 – Sustainable Spatial Strategy

#### 4.17 CDP 1: The Placemaking Principle

Policy CDP 1 of the Glasgow City Development Plan (2017) promotes a design-led, place-based approach to development in order to enhance the quality, character, and functionality of the city's built environment. It is an overarching policy that applies to all planning applications.

The policy requires that development proposals:

- Respond positively to the site's context, including its historic, physical, and social surroundings;
- Promote high design quality that enhances local character and identity;
- Support sustainable and healthy environments, including the integration of active travel, open space, and green infrastructure;
- Provide high-quality amenity for both existing and future residents;
- Avoid adverse impacts Encourage community engagement on townscape, landscape, and environmental quality;
- , where appropriate, in the design process.

Policy CDP 1 is implemented through **Supplementary Guidance SG 1: Placemaking**, which provides detailed design criteria to ensure alterations, extensions, and new development contribute positively to the urban fabric of Glasgow.

In line with CDP 1, proposals should not only be functional but should also **contribute to creating attractive, healthy, and sustainable places**. Minor deviations from prescriptive design guidance may be acceptable where the overall quality, coherence, and impact of the proposal align with placemaking principles.

#### 4.18 Policy CDP 2: Sustainable Spatial Strategy

Policy CDP 2 of the Glasgow City Development Plan (2017) sets out the Council's overarching spatial strategy for achieving sustainable development across the city. It underpins all other policies in the plan and seeks to direct growth and change in a manner that supports regeneration, resilience, and responsible use of land and resources.

The policy aims to:

- Promote the efficient use of land, prioritising brownfield and previously developed sites;
- Support compact urban growth, reinforcing Glasgow's existing settlement structure and reducing the need for car-based travel;
- Encourage the reuse and adaptation of existing buildings, where appropriate, to minimise environmental impact and support climate resilience;
- Deliver high-quality development that strengthens Glasgow's character, identity, and sense of place;
- Support a network of accessible, connected neighbourhoods with good links to public transport, open space, and community facilities;
- Ensure that development contributes to economic competitiveness, social inclusion, and environmental sustainability.

In decision-making, CDP 2 directs development to the right locations to ensure that proposals support the City's long-term vision for a more sustainable, liveable, and resilient Glasgow.

The policy is supported by detailed guidance across the Development Plan, and it is used to assess whether development proposals are appropriately sited, designed, and integrated into the wider urban context.

#### 4.19 **Supplementary Guidance SG 1: Placemaking**

SG 1: Placemaking is the key Supplementary Guidance to Policies CDP 1 and CDP 2 of the Glasgow City Development Plan (2017). It provides detailed, practical criteria to ensure that development proposals achieve high standards of design, enhance Glasgow's built environment, and contribute positively to neighbourhood character and amenity.

SG 1 is divided into two parts:

##### **Part 1 – The Placemaking Principle**

- Sets out the core urban design principles that all development must follow, including layout, movement, density, scale, landscaping, and sustainability.
- Emphasises the need for development to respond to local context, deliver active frontages, integrate green infrastructure, and enhance connectivity.
- Promotes inclusive, well-designed places that support health, wellbeing, and community interaction.



## Part 2 – Residential Development: Alterations to Dwellings and Gardens

This section applies to householder development, including extensions, dormers, garages, and outbuildings. It aims to ensure alterations:

- Are subordinate in scale and design to the original dwelling;
- Use materials and detailing that respect the character of the building and surrounding area;
- Avoid creating over-dominant or incongruous additions;
- Maintain adequate private garden space (minimum 66% of the original usable garden area);
- Do not adversely impact residential amenity, daylighting, or privacy of neighbouring properties;
- For dormers, SG 1 provides specific design criteria (e.g. set well below ridgeline, drawn back from eaves, glazed front face, proportionate width) to ensure visual coherence and prevent roof clutter.

### Purpose and Role

SG 1 is a tool for delivering the Placemaking Principle and ensuring that development meets both strategic citywide objectives and site-specific design expectations. While it includes detailed criteria, it is intended to be applied flexibly, allowing for contextual design responses where appropriate.

## 5.0 MATERIAL CONSIDERATIONS

- 5.1 The policies and supplementary guidance noted above are the principal considerations in the assessment of the application. However, examples of other developments which can be used to establish precedent are commonly accepted as “material” in the consideration of planning applications.
- 5.2 The following examples outline where two storey side extensions have been built within this established residential area:



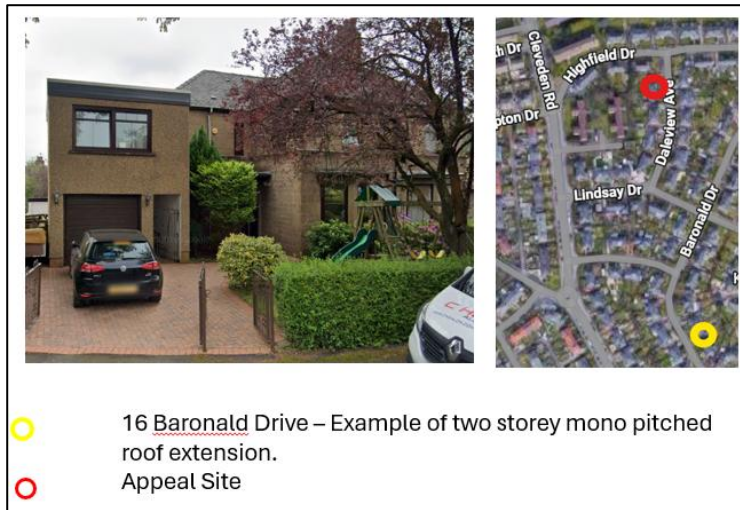
- 5.3 173 Cleveden Road, comprises a similar two storey detached dwellinghouse within the Kelvindale area. It can be clearly seen that the two storey extension that has been constructed is non compliant with the current guidance and comprises a flat roof.



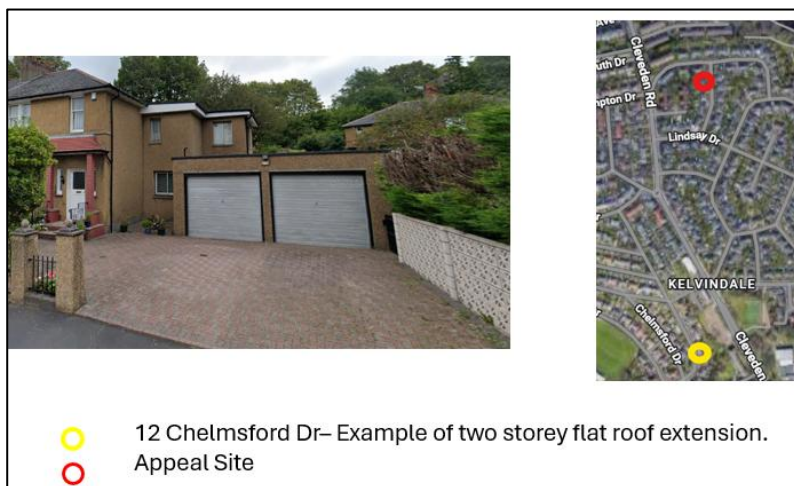
- 5.4 114 Cleveden Rd, is a traditional property of a similar style to the appeal property. 114 Cleveden Rd, has been subject to a two storey mono pitched (sloping or lean-to) roof design and is very similar to the proposed development subject to this appeal. This clearly shows how the appeal design is in keeping with the principle property and provides a subordinate addition to the main dwelling.



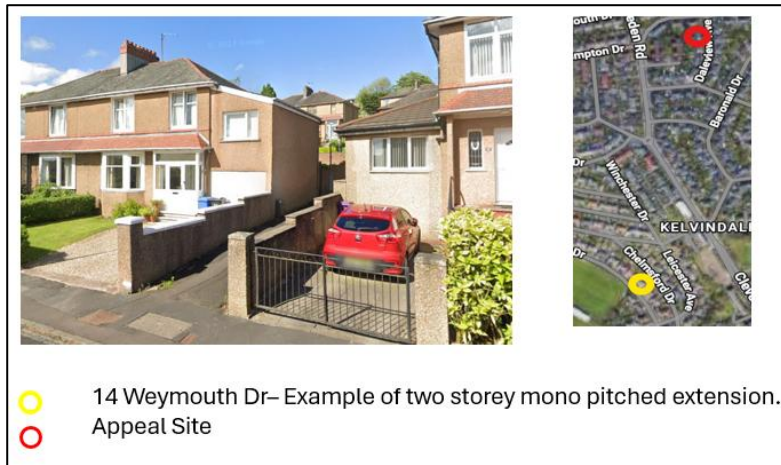
- 5.5 11 Baronald Drive comprises a traditional looking property with a similar two storey side extension to that proposed as part of the appeal submission. Again, the appellants consider that this form of design being considerably set back from the front building line, as per the appeal proposal, is entirely in keeping with the prevailing character of the property and surrounding area.



- 5.6 16 Baronald Drive, has been subject to a large flat roof extension which arguably does not form a compatible relationship with the character of the existing property or surrounding area. The proposed development subject of the appeal is considered to be far more in keeping and would be positive addition to the surrounding area particularly in the context of the examples cited.



- 5.7 12 Chelmsford Drive, demonstrates that there are various different styles of two storey extensions within the established residential. This again is a further example of a flat roof extension. The appeal proposes a lean-to or sloping roof which the appellants consider is an appropriate design for the area as opposed to a flat roof design



- 5.8 14 Weymouth Drive above, shows a two storey semi detached dwelling in the Kelvindale area which has been subject to a two storey side extension with lean-to or sloping mono pitched roof. This differs from the appellants proposal which is considerably set back from the front building line and is far more modest in scale and a far more sympathetic design. The appellants content that in the context of these examples the proposed side extension will not have any undue impacts upon the character of the area.



- 5.9 26 Weymouth Drive, above, comprises a two storey semi-detached property which has been subject to a two storey side extension and balcony design. Again, this comprises a flat roof design.
- 5.10 In summary, it is evident that within the established residential area of Kelvindale and within walking distance of the appeal site, there are numerous examples of two storey side extensions, most of which comprise of a flat roof design. The appellants are not proposing a flat roof but rather a more acceptable mono pitched or lean-to roof design which is considered to be sympathetic to the character of the area and property and is clearly subordinate to the principal dwelling.



- 5.11 The examples cited are considered to give rise to greater potential visual impacts to the character of the area than any that could be associated with the appeal proposal. Therefore, not only has the precedent been set for the mono pitched roof design, the proposed extensions sought by the appellant are considered to be entirely appropriate for the character of the area.

### DORMER EXTENSIONS



- 5.12 8 Daleview Avenue, which is referenced in the Report of Handling, this demonstrates that side dormers that extend to the eaves have previously been considered acceptable. The appeal proposal includes a side dormer which is comparable in relation to the design and extension to the eaves.



- 5.13 Further example at 23 Baronald Drive, of a side dormer that extends to the eaves, this time at 23 Baronald Drive.



- 5.14 Within Lyndsay Place there are 3 properties which have similar side dormer extension designs to that of the proposed appeal.



- 5.15 At 10 Baronald Drive a flat roof box dormer has been developed again in a similar design and scale to that of the appeal proposal.



5.16 Example of flat roofed dormer on public elevation which extends to the eaves.

5.17 In the sectional drawing ( figure 4 below) provided with the planning application, it is clear that the proposed rear dormer is set below the ridge line and set back from the eaves.

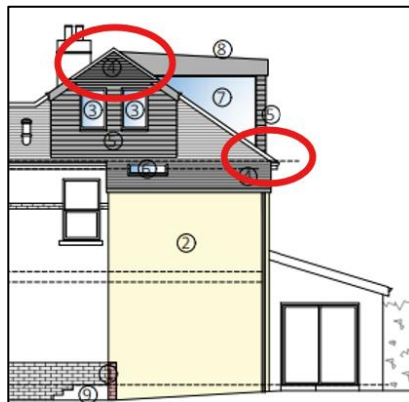


Figure 4 – Proposed Section

5.18 The National Housing Crisis- it is key that we provide suitable homes and allows families to adopt their homes for future living alleviate the pressure on moving and finding another house.

5.19 In summary, there a several examples of flat roofed dormers and side pitched roof dormers within the Kelvindale area which are of a similar design and form to that which is the subject of this appeal. It is therefore the appellants assertion that a precedent has been set within this locality and that the proposed development can be considered acceptable on the basis of these material considerations.



## 6.0 RESPONSE TO GROUNDS FOR REFUSAL

6.1 The Council's refusal is based on claimed non-compliance with:

- **NPF4 Policies 14 and 16**
- **Glasgow City Development Plan CDP 1 and SG 1 (Placemaking)**

Below, we address the principal reasons for refusal.

### **Design, Siting, and Scale – Side Extension**

- 6.2 The two-storey side extension is modest in footprint (10.2 sq.m), set well back from the principal elevation (4.7m), and maintains a subordinate scale with a reduced ridge height and materials to match the original dwelling. While the case officer criticises the roof form and lower eaves height, these do not materially affect the relationship with the streetscape nor breach SG1's guidance on footprint or front setbacks.
- 6.3 Under Section 5 above we have provided numerous examples of the type of roof design that is proposed as part of this appeal and that has been successfully developed within the area. We note that the Council's officer has suggest the side extension should be designed with a hipped roof. This is not feasible with a side dormer extension as there is no room within the roofscape to accommodate this type of design. A lean-to or mono pitched roof is a common roof design which allows the extension to sit at a subordinate level to the principle dwelling according with the aims of the Supplementary Guidance for extensions to remain secondary and not dominate the main dwelling.
- 6.4 The Council Officer's concern in this instance, regarding the gable roof form lacks proportionality, particularly given that the extension is clearly subsidiary in scale and located on a non-prominent side elevation. No evidence is presented that this minor departure regarding roof type, would result in significant visual harm to the character of the area. While this is an attractive part of the urban environment, the area is not a conservation area or article 4 area where the council has designated such areas to retain their special character.

### **Dormers – Rear and Side**

- 6.5 The design of the dormers aims to maximise internal function while minimising external impact. The dormers do not overlook neighbouring properties, do not cause overshadowing, and materials match existing roof finishes. The rear dormer faces only the applicant's garden and complies with privacy expectations. We note the Council's officer has sought for the Side Dormer extension to comprise of a lower ridge height. The current proposed floor to ceiling height of the side dormer is some 2.1m. This is the

recommended minimum height for habitable rooms under current building regulation guidance. Lowering the ridge height of the side dormer would therefore compromise the space the appellant is seeking for this first-floor bathroom.

- 6.6 While it accepted that the dormers exceed certain dimensional guidance in SG1 (e.g., proportion, distance from ridgeline), this guidance is not prescriptive and allows for flexibility where appropriate. The dormer at No. 8 Daleview Avenue provides a directly comparable example of deviation from the “ideal” guidance that was previously approved.
- 6.7 We have provided numerous examples in Section 5 where similar dormer designs have been developed within the locality without any detriment to the character of the area, which as we have noted is not specifically protected by any statutory designations.
- 6.8 The guidance does not mention set distances or dimensions and therefore it is open to interpretation as to what constitutes a suitable set back. In this case it is contended that the proposed development reflects a balance between design efficiency and policy compliance and does not result in material harm.

## 7.0 COMPLIANCE WITH RELEVANT POLICY

### 7.1 National Planning Framework 4

- **Policy 14 – Design, Quality and Place**

The development responds to the local character, uses appropriate materials, and enhances internal living space. No public realm impact or environmental harm is identified. The proposal is not "poorly designed" in the context of NPF4.

- **Policy 16 – Quality Homes**

The proposal enhances residential function by improving internal circulation and accommodation. There is no loss of amenity, and privacy is preserved. The home's environmental quality is not diminished.

- The extension enables a growing family to remain in the home, promoting housing stability and avoids need for new housing elsewhere and aligns with the principles of resilient neighbourhood planning.

### 7.2 Glasgow City Development Plan

- **CDP 1 & SG 1 – The Placemaking Principle**

The proposal preserves the visual amenity and functionality of the dwelling and the area. SG 1 guidance is flexible, and where minor deviations exist (e.g., dormer setbacks or proportions), they are justified by context, function, and the absence of any adverse impact.

- There are no adverse amenity effects, overdevelopment concerns, or streetscape degradation. No objections were received from the 19 neighbours notified, the majority of the rear garden area remains undeveloped—well within policy limits.

## **8. CONCLUSION**

8.1 The proposed development at 17 Daleview Avenue is a reasonable and proportionate householder extension that:

- Enables a growing family to remain in the home, promoting housing stability and avoids need for new housing elsewhere and aligns with the principles of resilient neighbourhood planning.
- Enhances the living accommodation without harming visual amenity;
- Complies with the general intent of SG 1, CDP 1, and Policies 14 and 16 of NPF4;
- Avoids overdevelopment and preserves privacy;
- Has received no public objections and follows existing precedent when considering the numerous similar examples cited within section 5.
- The appellant contends that the proposals do broadly comply with the provisions of the development plan. However, should the Local Review Body consider that the proposed development does not strictly accord with the provisions of the development, the examples provided are considered to provide sufficient material considerations which would outweigh the minor variation with the Council's guidance.

8.2 In light of the above, the appellant respectfully requests that the appeal be upheld and that full planning permission be granted.